

Peter Clarke



6 Newsholme Close, Warwick, CV34 5XF

Offers Over £235,000

This beautifully presented and largely modernised two bedroom semi detached bungalow is located in the ever popular Woodloes Park area of Warwick, situated within easy reach of local amenities, school and Warwick town centre. Offering internal accommodation briefly comprising entrance hallway, dual aspect living room, modern fitted kitchen, two spacious bedrooms and modern family bathroom. Outside the property benefits from a low maintenance foregarden, larger than average side and rear garden, driveway parking and detached single garage.



APPROACH Accessed from Newsholme Close via the paved footpath which leads up to the newly installed UPVC double glazed front door opening into entrance hall.

ENTRANCE HALL With central heating radiator, ceiling mounted lighting, internal timber and glazed door opening into the dual aspect living room.

LIVING ROOM This well proportioned reception room has large newly installed double glazed window to the front elevation overlooking the foregarden as well as a newly installed sliding patio door giving views and direct access onto the rear patio and garden beyond. Featuring ceiling mounted lighting and having newly installed central heating radiator. This generous reception room provides ample space for both living and dining and gives way to a further inner hallway and

modern fitted kitchen via folding timber door.

MODERN FITTED KITCHEN Comprising a range of white gloss fronted wall and base mounted units with contrasting granite effect work surfaces over, inset one and one half bowl porcelain sink and drainer unit with chrome monobloc tap. Having integrated double oven and counter top mounted induction hob with brushed stainless steel glass overhead extractor fan, space and plumbing for both washing machine and large upright fridge freezer. Further to this there is a rear facing UPVC double glazed window and access door giving views and direct access on to the paved rear terrace, central heating radiator and ceramic tiled floor, inset downlighters.

INNER HALLWAY Accessed from the living room. The inner hallway has access to bedrooms and family bathroom and

benefits from an airing storage cupboard, ceiling mounted lighting and loft access hatch leading into the loft storage area with a side facing UPVC double glazed window and timber panel door opening into :-

BEDROOM TWO The second bedroom currently being utilised as a guest room and study has newly installed UPVC double glazed window to the front elevation overlooking the foregarden, central heating radiator which is also new and ceiling mounted lighting.

MODERN FAMILY BATHROOM This modern family bathroom comprises a white suite with low level WC with dual flush, panelled bath with chrome fittings and Triton Madrid electric shower over. With vanity unit wash hand basin with under counters storage and chrome monobloc tap, ceramic



tiling to floor and all splashback areas, centrally heated towel rail, ceiling mounted downlighters and extractor fan.

MASTER BEDROOM A well proportioned double room with large newly installed double glazed window to side elevation overlooking the rear garden, central heating radiator and ceiling mounted lighting.

OUTSIDE

FRONT To the front of the property is a low maintenance foregarden with a large gravelled area and paved footpath.



SIDE AND REAR ELEVATION A larger than average low maintenance paved courtyard style garden with further useful gravelled area playing host to a useful timber storage shed and useful brick built garden store, outside tap and lighting. To the rear of the garden is a further timber gate leading to footpath which in turn leads to:-

DRIVEWAY The tarmac driveway provides off road parking for one vehicle and in turn leads up to the single brick built garage.

GENERAL INFORMATION

TENURE: We are informed the property is Freehold, although we have not seen evidence. Purchasers should check this before proceeding.

SERVICES: We have been advised by the vendor there is mains gas, electric, water and drainage connected to the property. However, this must be checked by your solicitor before exchange of contracts.

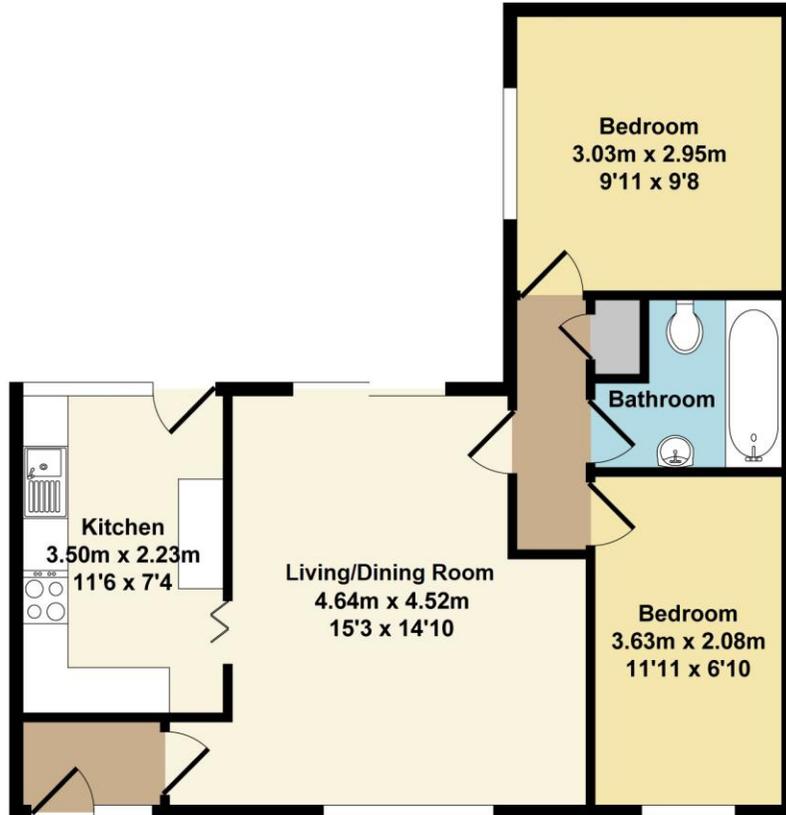
RIGHTS OF WAY: The property is sold subject to and with the benefit of, any rights of way, easements, wayleaves, covenants or restrictions etc. as may exist over same whether mentioned herein or not.



Newsholme Close

Total Approx. Floor Area 50.60 Sq.M. (545 Sq.Ft.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.



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COUNCIL TAX: Council Tax is levied by the Local Authority Warwick District Council and is understood to lie in **Band C**

CURRENT ENERGY PERFORMANCE CERTIFICATE RATING: D. A full copy of the EPC is available at the office if required.

VIEWING: By Prior Appointment with the Selling Agents.

REGULATED BY RICS



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