

Peter Clarke
New Homes



The Bowling Green Fosse Way, Halford, Shipston-On-Stour, CV36 5BN

- Brand new development on a private gated develop
- SMEG integrated appliances to kitchen area with Granite worksurfaces over
- Bathrooms and cloakroom tiled floor to ceiling on "wet" walls
- Electrically operated remote garage door
- Hardwood flooring to hall, utility, WC and open plan kitchen/diner/family room
- Underfloor heating downstairs, radiators to first floor
- Composite double glazed windows, Anthracite externally, white internals.
- Finished to a high level of specification
- Air Source Heat Pump providing hot water and central heating
- 10 Year Premier Guarantee



An exclusive development of just four luxury detached homes located in the picturesque village of Halford. Ready late Summer 2023. Finished to a high level of specification.

General Specification

General

- Oast Russet Warwickshire Red Brickwork
- Natural Slate Roof
- Feature composite and zinc cladding
- Composite double glazed windows, Anthracite externally, white internals.
- Aluminium bi-fold doors with level thresholds
- Feature composite entrance door with fullheight glazing
- Lindab steel rainwater goods (gutters and down pipes) powder-coated in Anthracite Grey

Heating, Plumbing & Electrics

- Air source Heat Pump providing central heating and hot water
- Underfloor heating downstairs, radiators to first floor
- Roca sanitary ware and Bristan bathroom fittings, mains supply thermostatic shower, glass screens to shower enclosures and towel radiators.
- LED down-lighting throughout
- Satin chrome switches and sockets throughout
- Pre-wired throughout for satellite and TV
- Intruder Alarm
- Fire detection

Fixtures & Fittings

- Bespoke fitted kitchen with SMEG appliances
- Granite Worktops
- Bathrooms and cloakroom tiled floor to ceiling on "wet" walls
- Fitted wardrobes to Master Bedroom
- Hardwood flooring to hall, utility, WC and open plan kitchen/diner/family room
- Carpet throughout rest of house
- Electrically operated remote garage door

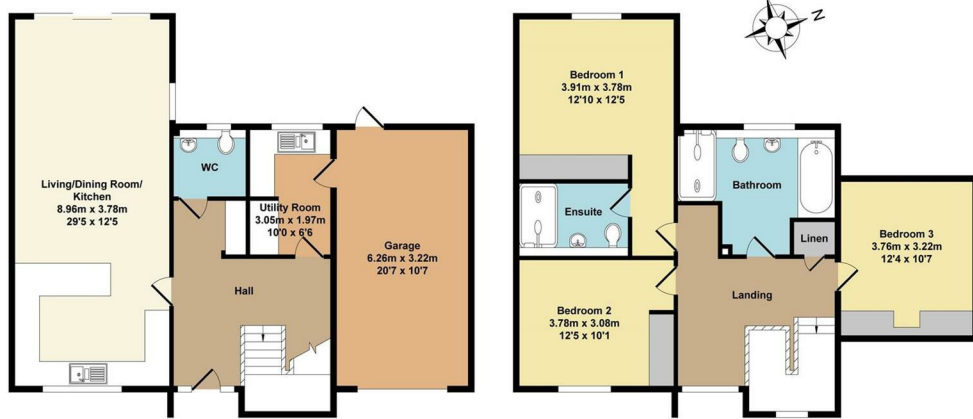
Outside

- Outside lighting
- Tarmacadam Private entrance road and driveways
- Outside tap and power socket
- Patio area to rear
- Timber fencing to garden boundaries
- Seeded lawn areas
- Landscaped front gardens
- 10 Year Premier Guarantee

N.B. The developer reserves the right to change any item to an equivalent specification

Total Approx. Floor Area 153.40 Sq.M. (1651 Sq.Ft.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.



Ground Floor
Approx. Floor Area 80.90 Sq.M. (871 Sq.Ft.)

First Floor
Approx. Floor Area 72.50 Sq.M. (780 Sq.Ft.)

**Plot 2, The Bowling Green, Fosse Way, Halford
Total Approx. Floor Area 208.60 Sq.M. (2246 Sq.Ft.)**

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Garage
Approx. Floor Area 38.80 Sq.M. (418 Sq.Ft.)

Ground Floor
Approx. Floor Area 84.90 Sq.M. (914 Sq.Ft.)

First Floor
Approx. Floor Area 84.90 Sq.M. (914 Sq.Ft.)

**Plot 3, The Bowling Green, Fosse Way, Halford
Total Approx. Floor Area 228.90 Sq.M. (2464 Sq.Ft.)**

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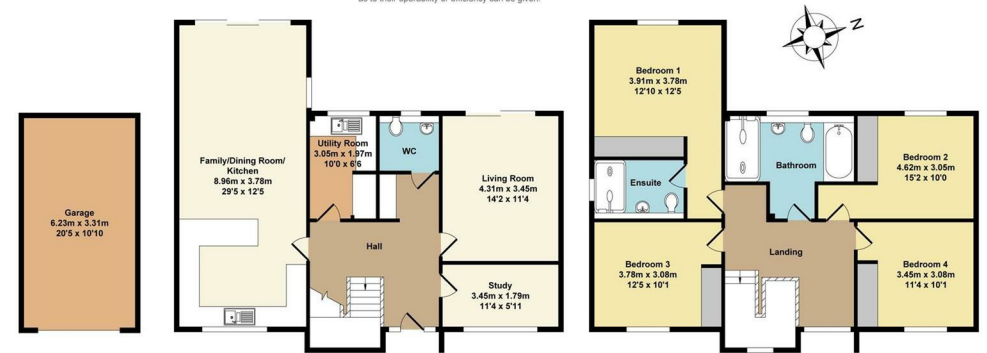


Ground Floor
Approx. Floor Area 122.20 Sq.M. (1315 Sq.Ft.)

First Floor
Approx. Floor Area 106.70 Sq.M. (1149 Sq.Ft.)

**Plot 4, The Bowling Green, Fosse Way, Halford
Total Approx. Floor Area 184.80 Sq.M. (1990 Sq.Ft.)**

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Garage
Approx. Floor Area 20.60 Sq.M. (222 Sq.Ft.)

Ground Floor
Approx. Floor Area 82.10 Sq.M. (884 Sq.Ft.)

First Floor
Approx. Floor Area 82.10 Sq.M. (884 Sq.Ft.)



TENURE: The property is understood to be freehold although we have not seen evidence. This should be checked by your solicitor before exchange of contracts.

The communal parts and control of, will be shared equally between the four plots.

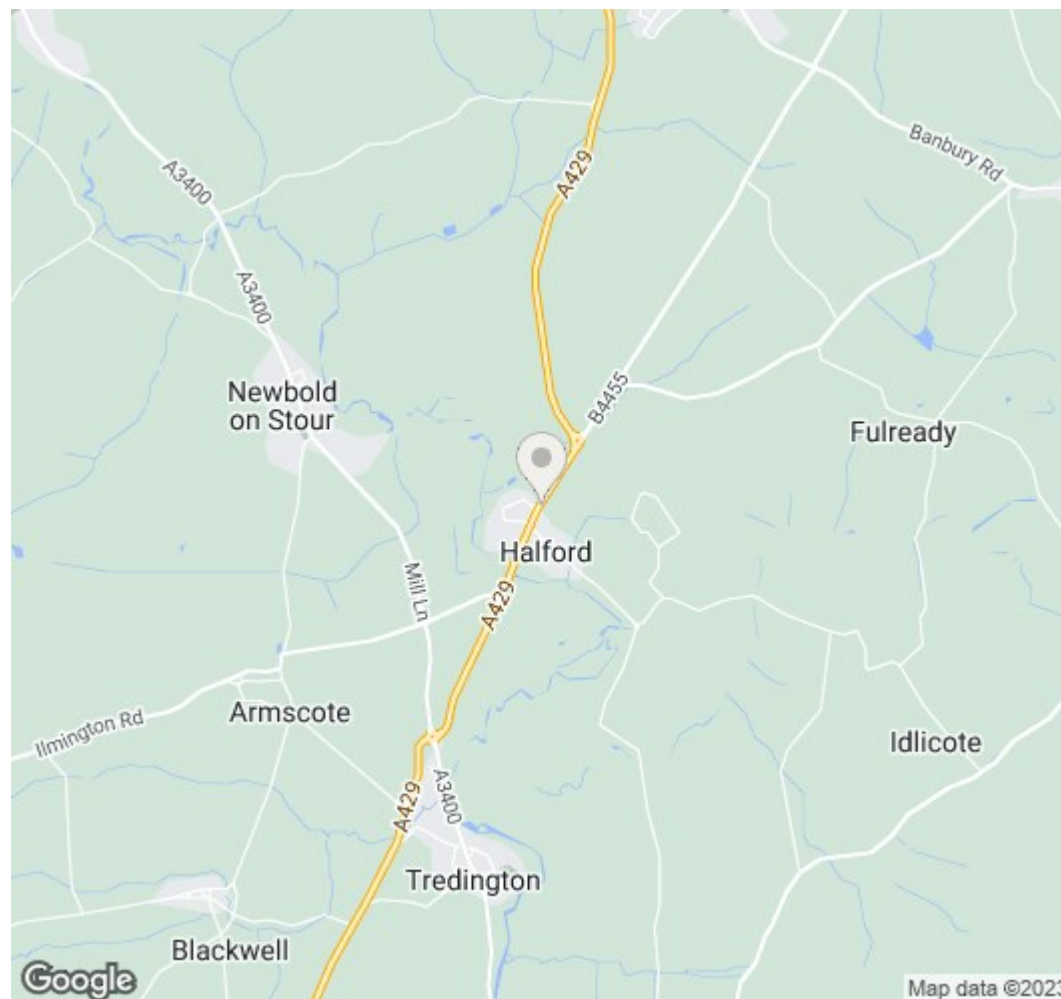
SERVICES: We have been advised by the vendor that mains water, electric and drainage are connected to the property. Air Source Heat Pump provide the central heating and hot water with underfloor heating downstairs and radiators to the first floor. However, this should be checked by your solicitor before exchange of contracts.

RIGHTS OF WAY: The property is sold subject to and with the benefit of any rights of way, easements, wayleaves, covenants, or restrictions etc. as may exist over same whether mentioned herein or not.

COUNCIL TAX: Council Tax is levied by the Local Authority and is understood to not yet be assessed.

CURRENT ENERGY PERFORMANCE CERTIFICATE RATING: TBC.

VIEWING: By Prior Appointment with the selling agent Peter Clarke New Homes.



DISCLAIMER: Peter Clarke & Co LLP themselves and for the vendors or lessors of this property whose agents they are, give notice that the particulars are set out as a general outline only for the guidance of intending purchasers or lessors, and do not constitute part of an offer or contract; all descriptions, dimensions, references to condition and necessary permission for use and occupation, and other details are given without responsibility and any intending purchasers or tenants should not rely on them as statements or presentations of fact but must satisfy themselves by inspection or otherwise as to the correctness of each of them. Room sizes are given on a gross basis, excluding chimney breasts, pillars, cupboards, etc. and should not be relied upon for carpets and furnishings. We have not carried out a detailed survey and/or tested services, appliances and specific fittings. No person in the employment of Peter Clarke & Co LLP has any authority to make or give any representation of warranty whatever in relation to this property and it is suggested that prospective purchasers walk the land and boundaries of the property, prior to exchange of contracts, to satisfy themselves as to the exact area of land they are purchasing.

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serving South Warwickshire & North Cotswolds

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